



# Kimberly Heights

All of Lot 1 of Certified Survey Map No. 3631 and being part of the Southeast 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

### Surveyor's Certificate

I, James R. Sehlhoff, professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison, and under the direction of Dercks Dewitt LLC, David I. Weiland and Jacquelyn J. Weiland Living Trust, owners of said land, I have surveyed and mapped Kimberly Heights, that such plat correctly represents all existing boundaries and the subdivision of the land surveyed, and that this land is all of Lot 1 CSM 3631 being part of the Southwest 1/4 of the Southwest 1/4 and part of the Southeast 1/4 of the Southwest 1/4 of Section 02, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin, containing 1,969,418 Square Feet (45,211.6 Acres) of land, subject to all easements and restrictions of record.

Given under my hand this 22 day of January, 2018

  
James R. Sehlhoff, Wisconsin Professional Land Surveyor No. S-2692

### Owner's Certificate

Dercks Dewitt LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks Dewitt LLC, does further certify this plat is required by s. 236.10 or s.236.12 to be submitted to the following for approval or objection:

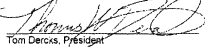
Village of Harrison Planning and Zoning Committee  
Calumet County Resource Department  
Department of Administration

IN WITNESS WHEREOF, the said Dercks Dewitt LLC, has caused these presents to

be signed by its authorized representatives, located at Menasha, Wisconsin

this 22 day of February, 2018

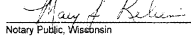
In the Presence of: Dercks Dewitt LLC

  
Tom Dercks, President



State of Wisconsin)  
)ss  
Winneshage, County)

Personally came before me this 22 day of February, 2018, the above named to me known to be the persons who executed the foregoing instrument and acknowledged the same.

  
Mary J. Rehm, My commission expires: 6-21-21  
Notary Public, Wisconsin

### Utility Easement Provisions

An easement for electric, natural gas, public utilities and communications service is hereby granted by

Dercks Dewitt LLC, grantor

to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee,  
SBC, Grantee,  
Darby Sanitary District, Grantee  
Village of Harrison, Grantee  
and  
Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

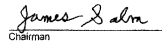
Dercks Dewitt LLC

  
Dercks Dewitt LLC  
Tom Dercks, Managing Member

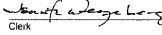
2-2-18  
Date

### Village Board Approval Certificate

Resolved, that the plat of Kimberly Heights in the Village of Harrison, Calumet County, Dercks Dewitt LLC, is hereby approved by the Village Board of the Village of Harrison.

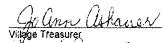
  
James S. Alm, Chairman  
2-25-18  
Date


I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison

  
Jennifer A. Lange, Clerk  
01/30/18  
Date

### Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer's of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

  
Galena Lukawiec, Village Treasurer  
2-28-18  
Date

  
Andrew Reich, County Treasurer  
3-2-18  
Date

### Village Notes:

- There are Ordinance regulations that have been passed by the Village of Harrison requiring the maintenance of lot drainage plans on a permanent basis. Said regulations have been recorded as Document Number 331468, Calumet County Register of Deeds and shall apply to all subdivisions approved after the 1st day of May, 2001. Said recording shall have the effect of deed restrictions requiring that permanent lawns be established in conformance with the lot drainage plan elevations within one year after initial occupancy of any house. Failure to maintain grades in accordance with storm water or drainage plans shall entitle the Village or representative thereof to direct compliance or upon failure of compliance to make said lands come into compliance. The costs and expenses shall be entered on the tax roll as a special charge against the property and collected with other taxes levied thereon.
- Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinances relating to drainage and storm water management.
- In the event that the surface drainage facilities required by the plat which are applicable to the lot for which a building permit has been applied, have not been complied with, the building inspector may withhold building permits required by the building code.
- In the event that, after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan, the building inspector may withhold the occupancy permit required by the building code.
- Maintenance of all drainageways and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Subdivider until acceptance by or dedication to the Village of Harrison.
- Where the final drainage plan requires a storm inlet to adequately drain the rear portion of lots within blocks of the plat, the subdivider shall incorporate restrictive covenants in the deeds for the aforementioned lots that, "The respective lot owners shall be responsible for maintaining a clear grate on any storm drainage inlets on their lot."
- Upon failure of the Owner/Subdivider to perform maintenance of the drainageways and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The payments of said maintenance and/or repairs shall be equally assessed among the property owners of the plat.
- A drainage plan has been filed with the Village of Harrison which states the required levels of maintenance for all the identified storm water management systems/facilities.
- Drainage Easement Notes:
  - All lands within areas labeled "Drainage Easement" are reserved for stormwater collection, conveyance, treatment, or infiltration. No buildings, fences, or other structures are allowed in these areas. No grading or filling is allowed in these areas that may interrupt stormwater flows in any way.
  - Landscaping/plantings shall be restricted to ground cover.
  - If Drainage Easements are not adequately maintained, the Village of Harrison may levy the cost and expenses of such inspections, maintenance, and/or repair related activities as a special charge against the property and collected as such in accordance with the procedures under Wis. Stats. 66.0627.
- The Village of Harrison will assess all lots for street improvements, including but not limited to, curb & gutter, concrete pavement, and sidewalks.
- There shall be no lower exposed openings on lots containing a drainage easement. Any egress windows will require a window well with a top elevation consistent with the top of the house foundation elevation.
- Lot 24, 25 and 44-48 contain a "Landscape and Grading Easement" no grading or filling is allowed within said easement without the approval of the Village of Harrison.

This Final Plat is contained wholly within the property described in the following recorded instruments:

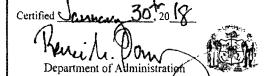
the property owner of record: Dercks Dewitt LLC  
Recording Information: Doc No. 522094  
Parcel Number(s): 33244

CURVE TABLE							
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing in	Tangent Bearing-out
C1	66.00'	S 44°16'59" W	93.34'	103.67'	90°00'00"	S 00°43'01" E	S 89°16'59" W
C2	66.00'	S 15°54'13" W	46.48'	47.51'	41°14'28"	S 02°43'01" E	S 40°31'27" W
C3	66.00'	S 64°54'13" W	54.48'	56.17'	48°45'32"	S 40°31'27" W	S 89°16'59" W
C4	383.00'	S 07°41'29" E	93.01'	93.24'	13°56'53"	S 14°59'58" E	S 00°43'01" E
C5	383.00'	S 01°02'34" E	4.30'	4.36'	0°39'00"	S 01°22'08" E	S 00°43'01" E
C6	383.00'	S 08°01'03" E	88.69'	88.58'	13°17'50"	S 14°39'58" E	S 01°22'08" E
C7	317.00'	S 01°20'50" E	80.76'	80.99'	14°38'15"	S 00°01'43" E	S 14°39'58" E
C8	317.00'	S 13°31'48" E	12.57'	12.57'	2°16'20"	S 12°23'38" E	S 14°39'58" E
C9	317.00'	S 05°12'40" E	68.25'	68.41'	12°21'55"	S 00°01'43" E	S 12°23'38" E
C10	383.00'	N 07°20'50" W	97.58'	97.85'	14°38'15"	N 14°39'58" W	N 00°01'43" W
C11	383.00'	N 04°18'23" W	56.69'	56.75'	8°29'21"	N 08°31'04" W	N 00°01'43" W
C12	383.00'	N 11°35'31" W	41.08'	41.10'	6°08'54"	N 14°39'58" W	N 08°31'04" W
C13	317.00'	N 07°41'29" W	76.99'	77.18'	13°56'37"	N 00°43'01" W	N 14°39'58" W
C14	317.00'	N 09°41'21" W	55.00'	55.07'	9°57'14"	N 04°42'44" W	N 14°39'58" W
C15	317.00'	N 02°42'52" W	22.10'	22.10'	3°59'43"	N 00°43'01" W	N 04°42'44" W
C16	67.00'	S 06°49'25" E	15.40'	15.50'	13°15'04"	S 00°07'53" E	S 13°22'58" E
C17	133.00'	S 06°49'25" E	30.69'	30.76'	13°15'04"	S 13°22'58" E	S 00°07'53" E
C18	133.00'	S 06°49'25" E	30.69'	30.76'	13°15'04"	S 00°07'53" E	S 13°22'58" E
C19	67.00'	S 06°49'25" E	15.46'	15.50'	13°15'04"	S 13°22'58" E	S 00°07'53" E

DOCUMENT # 529152

TAMARA ALTEN  
REGISTER OF DEEDS  
CALUMET COUNTY, WI  
03/02/2018 11:37 AM  
VOL: D PAGE: 1-3  
RECORDING FEE: \$0.00

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified January 30, 2018  
  
Patricia Dow  
Department of Administration

File: 4773Final.dwg  
Date: 01/23/2018  
Drafted By: jim  
Sheet: 2 of 2

Revision Date: Jan 23, 2018

 **DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
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