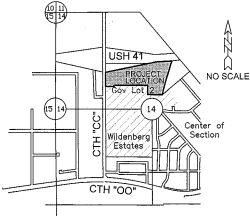


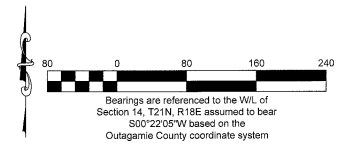
LOCATION MAP
Pt of W 1/2, SEC 14, T 21 N, R 18 E,
CITY OF KAUKAUNA
OUTAGAMIE COUNTY, WI



2126576
Recorded
February 12, 2018 3:32 PM
OUTAGAMIE COUNTY
SARAH R VAN CAMP
REGISTER OF DEEDS
Fee Amount: \$50.00
Total Pages: 2
Cabinet M page 79 & 80

Wildenberg North 2

All of Outlot 1, Wildenberg North, being part of Government Lot 2, Section 14, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin



NOTES

- All linear measurements have been made to the nearest one hundredth of a foot.
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.
- All existing easements shown are per the final plat of Wildenberg North unless otherwise noted.
- No Building permit shall be issued for lots 46-57 until the City has been notified that the existing Cable Line has been relocated to the easements on the North side of said lots.

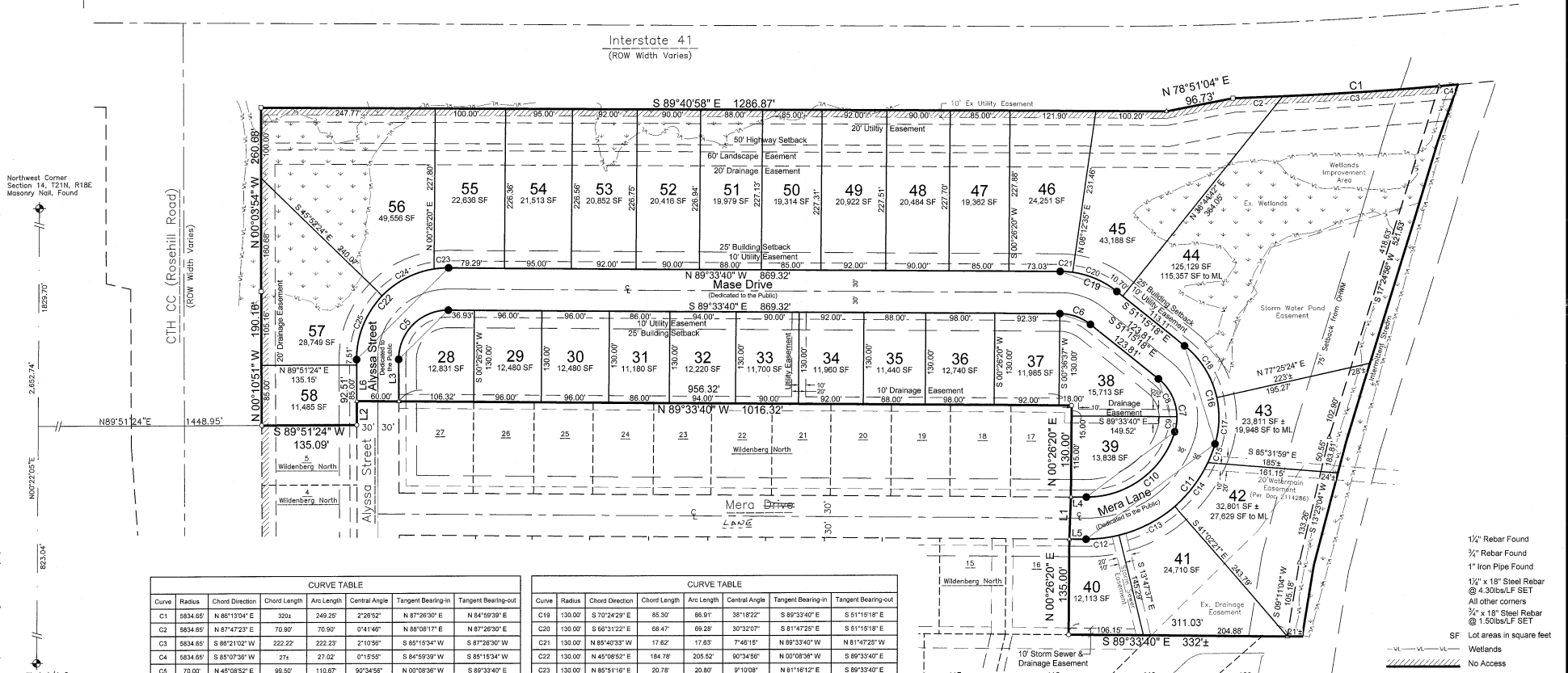
Access Restriction Clause

As owner I hereby restrict all lots and blocks in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with IN 41, as shown on the plat, it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to a 236.283, Stats. and shall be enforceable by the Wisconsin Department of Transportation

Highway Setback

No improvements or structures are allowed between the right-of-way line and the highway setback line. It is expressly intended that this restriction is for the benefit of the public as provided in Section 236.283, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation.

Interstate 41
(ROW Width Varies)



CURVE TABLE						
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in / Tangent Bearing-out
C1	6834.68	N 87°13'04" E	320.0	249.25	2°29'52"	N 87°28'30" E / N 84°59'39" E
C2	6834.68	N 87°47'23" E	70.97	70.97	0°41'46"	N 88°08'17" E / N 87°26'30" W
C3	6834.68	S 88°21'02" W	222.22	222.23	2°10'59"	S 88°19'34" W / S 87°26'30" W
C4	6834.68	S 88°07'38" W	27x	27.02	0°15'55"	S 84°59'39" W / S 88°19'34" W
C5	70.00	N 48°50'58" E	99.50	110.67	90°34'58"	N 00°08'38" W / S 89°33'40" E
C6	70.00	S 70°24'29" E	45.93	46.80	38°18'22"	S 89°33'40" E / S 51°15'18" E
C7	70.00	N 17°18'20" W	78.18	82.95	67°53'58"	N 18°38'38" E / N 51°15'18" W
C8	70.00	N 28°07'19" W	59.48	61.41	50°15'57"	N 00°59'21" W / N 51°15'18" W
C9	70.00	N 07°49'39" E	21.48	21.54	17°37'59"	N 18°38'38" E / N 00°59'21" W
C10	130.00	S 53°32'29" W	156.10	167.44	73°47'42"	S 18°38'38" W / N 89°33'40" W
C11	190.00	S 53°32'29" W	228.15	244.71	73°47'42"	S 18°38'38" W / N 89°33'41" W
C12	190.00	S 83°19'21" W	47.07	47.29	14°13'56"	S 78°12'23" W / N 89°33'41" W
C13	190.00	S 62°36'01" W	89.50	90.35	27°14'45"	S 48°57'39" W / S 78°12'23" W
C14	190.00	S 37°07'29" W	77.94	78.50	23°40'19"	S 23°17'19" W / S 48°57'39" W
C15	190.00	N 20°57'59" E	28.64	28.67	8°38'42"	N 25°17'19" E / N 18°38'38" E
C16	130.00	N 17°18'20" W	145.20	154.00	67°53'58"	N 18°38'38" E / N 51°15'18" W
C17	130.00	S 02°02'01" W	65.58	66.30	29°13'14"	S 12°34'30" E / S 18°38'38" W
C18	130.00	S 31°54'57" E	86.10	87.76	38°40'42"	S 51°15'18" E / S 12°34'30" E

CURVE TABLE						
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in / Tangent Bearing-out
C19	130.00	S 70°24'29" E	85.30	86.97	38°18'22"	S 89°33'40" E / S 51°15'18" E
C20	130.00	S 66°31'22" E	88.47	89.28	30°32'07"	S 81°47'25" E / S 51°15'18" E
C21	130.00	N 85°40'33" W	17.62	17.63	7°46'15"	N 89°33'40" W / N 81°47'25" W
C22	130.00	N 45°08'52" E	184.78	205.52	90°34'56"	N 00°08'38" W / N 89°33'40" E
C23	130.00	N 85°51'16" E	20.78	20.80	9°10'08"	N 81°16'12" E / N 89°33'40" E
C24	130.00	N 62°41'54" E	62.81	64.28	37°08'39"	N 44°07'36" E / N 81°16'12" E
C25	130.00	N 21°59'30" E	97.97	100.45	44°18'12"	N 00°08'38" W / N 44°07'36" E

LINE TABLE		
Line	Bearing	Length
L1	N 02°58'50" E	60.00
L2	N 00°08'38" W	33.82
L3	N 00°08'38" W	59.29
L4	S 89°33'40" E	21.92
L5	S 89°33'40" E	23.72
L6	N 00°08'38" W	51.17

WISCONSIN
JAMES R. SCHIFF
REGISTERED LAND SURVEYOR
Date: 6 Dec 2017

Revision Date: Dec 06, 2017
File: 4548Final2.dwg
Date: 12/06/2017
Drafted by: jim
Sheet: 1 of 2

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.
Certified December 6, 2017
Rebecca Pomy
Department of Administration

DAVE ENGINEERING & ENVIRONMENTAL, INC.
CIVIL ENGINEERING CONSULTANTS
1811 Racine Street, Menasha, WI 54952
Ph: 920-991-1866 Fax: 920-830-8666
www.davelpro

Wildenberg North 2

All of Outlot 1, Wildenberg North, being part of Government Lot 2, Section 14, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin

Surveyor's Certificate

I, James R. Sehoff, professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the City of Kaukauna and Outagamie County, and under the direction of Dercks Builders & Masonry, Inc., owner of said land, I have surveyed and mapped Wildenberg North 2; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Outlot 1, Wildenberg North, being part of Government Lot 2, Section 14, Township 21 North, Range 18 East, City of Kaukauna, Outagamie County, Wisconsin, containing 609,307 Square Feet (18,579.1 Acres) of land more or less, including all lands between the meander line and the centerline of the intermittent stream.

Given under my hand this 6 day of DECEMBER, 2017

James R. Sehoff
James R. Sehoff, Wisconsin Professional Land Surveyor No. S-2692


Mortgage's Certificate

Bank of Kaukauna, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, Mortgagee of the above described land, does hereby consent to the surveying, dividing, mapping and dedication of

the land described on this plat, and does hereby consent to the above certificate of DERCK'S BUILDERS & MASONRY, INC. owner.

IN WITNESS WHEREOF, the said (corporate name) has caused these presents to be signed by

John Brogan, its President, and countersigned by MARY VERBETEN, its Secretary or Cashier, at

Kaukauna, Wisconsin, and its corporate seal to be hereunto affixed this 13 day of DEC, 2017
In the presence of:

BANK OF KAUKAUNA (Corporate Seal)
Corporate Name

John Brogan 12-13-17
President, Date

Mary Verbeten 12-13-17
Secretary or Cashier, Date

State of Wisconsin)

Outagamie County) ss

Personally came before me this 13th day of December, 2017, John J. Brogan President,

and Mary Verbeten Secretary (cashier) of the above named corporation, to me known to be the persons who executed the foregoing instrument, and to me known to be such President and Secretary (cashier) of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Samuel Selth My Commission Expires August 28, 2021
Notary Public, Wisconsin



Corporate Owner's Certificate

Dercks Builders & Masonry, Inc., a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as the property owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks Builders & Masonry, Inc., does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

City of Kaukauna
Department of Administration
Department of Transportation

IN WITNESS WHEREOF, the said Dercks Builders & Masonry, Inc., has caused these presents to

be signed by its authorized representatives, located at Menasha, Wisconsin

this 12 day of December, 2017.

In the Presence of, Dercks Builders & Masonry, Inc.,

Tom Dercks
Tom Dercks, President

State of Wisconsin)
Outagamie County)

Personally came before me this 12 day of December, 2017.

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Mary J. Belbin My commission expires: 6-26-21
Notary Public, Wisconsin



Utility Easement Provisions

An easement for electric and communications service is hereby granted by Dercks Builders & Masonry, Inc. grantor, to:

Kaukauna Utilities
AT&T
and
Time Warner Cable

Grantees, their respective successors and assigns, to construct, install operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy for such purposes as the same is now and may hereafter be used and for sounds and signals, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements thereon, or on adjacent lots, also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electrical facilities or communication facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Buildings shall not be placed over Grantees facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of the Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without the written consent of grantors.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto

Tom Dercks 12-12-17
Tom Dercks, President, Dercks Builders & Masonry, Inc. Date

City of Kaukauna Common Council Approval Certificate

Resolved, that the plat of Wildenberg North 2 in the City of Kaukauna, Dercks Builders & Masonry, Inc. owner, is hereby approved by the Common Council.

Eugene J. Rusan 12-18, 2017
Mayor Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Common Council of the City of Kaukauna.

James J. Dand 12/14/17
City Clerk Date

Treasurers' Certificate

We, being the duly elected, qualified and acting Treasurers of the City of Kaukauna and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

James J. Dand 11/3/17
City Treasurer Date

Frank J. Wenzel 2/17/18
County Treasurer Date

City of Kaukauna Drainage Easement Restrictions:

The following uses are structures are prohibited within all Drainage Easements in the subdivision plat of Wildenberg North 2; filling, grading, and excavating except for construction of drainage ways and drainage facilities, the cultivation of crops, fruits, or vegetables; the dumping or depositing of ashes, waste, compost or material of any kind; the storage of vehicles, equipment, materials or personal property of any kind and constructing, erecting or moving any building or structure, including fences, within the drainage easement.

City of Kaukauna Drainage Easement Maintenance:

Maintenance of all drainage ways and associated drainage structures within the subdivision of Wildenberg North 2 are the sole responsibility of the property owners in the subdivision, unless otherwise noted on the drainage plan which has been prepared for this subdivision and which has been approved by and is on file with the City of Kaukauna.

Upon failure of any property owner to perform maintenance, abide by restrictions, or follow grading requirements of the drainage ways and associated drainage structures, the City of Kaukauna retains the right to have maintenance or corrective measures performed. The cost of said maintenance or corrective measures on any given lot shall be a special charge to the non-complying lot.

Maintenance by the city include, but is not limited to, the removal of silt and decomposed vegetation that gradually accumulates in the bottom of a pond, a detention area, and/or ditch. Payment for above maintenance items shall be placed on the annual real estate tax bill as a special assessment if not paid.

Grading and Grades

All grading and final grades for the construction of any public or private improvements, including landscaping, shall conform to the surface water drainage plan as approved and on file with the City of Kaukauna.

Sidewalks

All street frontages within the City of Kaukauna shall have sidewalks placed on them.

This Final Plat is contained wholly within the property described in the following recorded instruments:

the property owner of record:	Recording Information:	Parcel Number(s):
Dercks Builders & Masonry, Inc.	Doc No. 2055841	321-111002
	Doc No. 2101913	

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified December 6th, 2017
Renee M. Powers
Department of Administration



Revision Date: Nov 28, 2017
File: 4648Final2.dwg
Date: 11/29/2017
Drafted By: jim
Sheet: 2 of 2



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