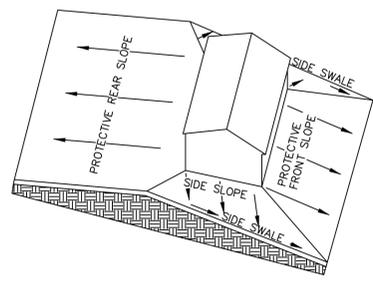
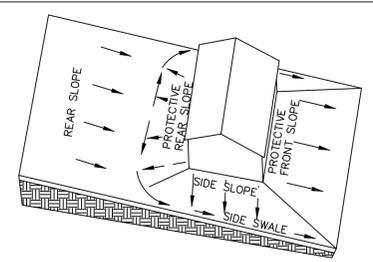
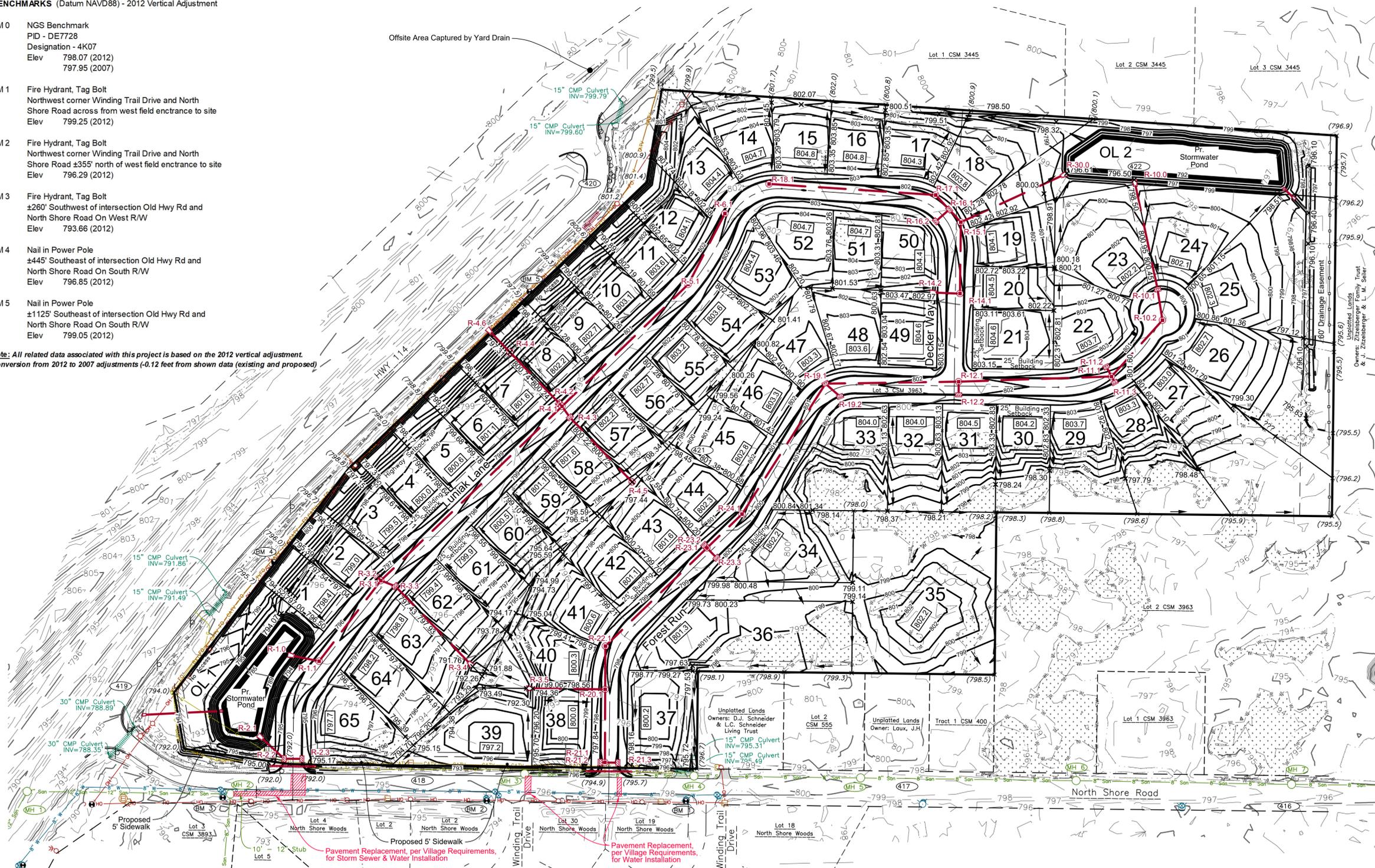


BENCHMARKS (Datum NAVD88) - 2012 Vertical Adjustment

- BM 0 NGS Benchmark
PID - DE7728
Designation - 4K07
Elev 798.07 (2012)
797.95 (2007)
- BM 1 Fire Hydrant, Tag Bolt
Northwest corner Winding Trail Drive and North Shore Road across from west field entrance to site
Elev 799.25 (2012)
- BM 2 Fire Hydrant, Tag Bolt
Northwest corner Winding Trail Drive and North Shore Road ±355' north of west field entrance to site
Elev 796.29 (2012)
- BM 3 Fire Hydrant, Tag Bolt
±260' Southwest of intersection Old Hwy Rd and North Shore Road On West R/W
Elev 793.66 (2012)
- BM 4 Nail in Power Pole
±445' Southeast of intersection Old Hwy Rd and North Shore Road On South R/W
Elev 796.85 (2012)
- BM 5 Nail in Power Pole
±1125' Southeast of intersection Old Hwy Rd and North Shore Road On South R/W
Elev 799.05 (2012)

Note: All related data associated with this project is based on the 2012 vertical adjustment. Conversion from 2012 to 2007 adjustments (-0.12 feet from shown data (existing and proposed))

Offsite Area Captured by Yard Drain



HOUSE ELEVATIONS:

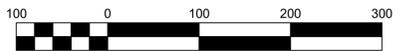
The house elevations shall be set to provide positive drainage away from the building in all directions as shown in the above details. House elevations and driveway locations may need to vary depending on size, location, and architecture of the home. Changes to the grading plan or house elevations can be allowed only if an individual lot grading plan is prepared by a professional engineer.

NOTES:

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. Vegetation beyond slopes shall remain.
4. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
5. All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
6. The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
7. The outside services are shown to stop at a point 5 feet outside the foundation wall. The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.
8. Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanup locations.
9. Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

LEGEND

CATV	Sanitary MH / Tank / Base	CATV Pedestal
Underground Fiber Optic	Hydrant	Sign
Overhead Utility Lines	Utility Valve	Post / Guard Post
Utility Guy Wire	Light Pole / Signal	Benchmark
Sanitary Sewer (Pipe Size)	Telephone Pedestal	Asphalt Pavement
Underground Gas Line	Telephone Manhole	Concrete Pavement
Water Main (Pipe Size)	Ex Spot Elevation	Gravel
Fence - Wood	Delineated Wetlands	
Trestleline	Index Contour - Existing	
Culvert	Intermediate Contour - Existing	Government Corner
Proposed Storm Sewer	Proposed Storm Manhole	
Proposed Contour	Proposed Curb Inlet	
Proposed Swale	Prop. Catch Basin / Yard Drain	
Proposed Culvert	Proposed Endwall	
Adjacent Plat Grade	Proposed Rip Rap	
Prop. Lot Corner Elevation	Prop. Drainage Direction	
Proposed Spot Elevation	Prop. Garage Floor Grade at Door	
Existing Grade	Emergency Overflow for Runoff	



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DRAINAGE & GRADING PLAN

Forest Ridge
Village of Harrison, Calumet County, WI
For: Dercks DeWitt LLC