

Forest Ridge

All of Lot 3, Certified Survey Map No. 3963, being located in the Southwest 1/4 of the Southeast 1/4; and Part of the Northwest 1/4 of the Southeast 1/4 of Section 15, Township 20 North, Range 18 East, Village of Harrison, Calumet County, Wisconsin

LOCATION MAP

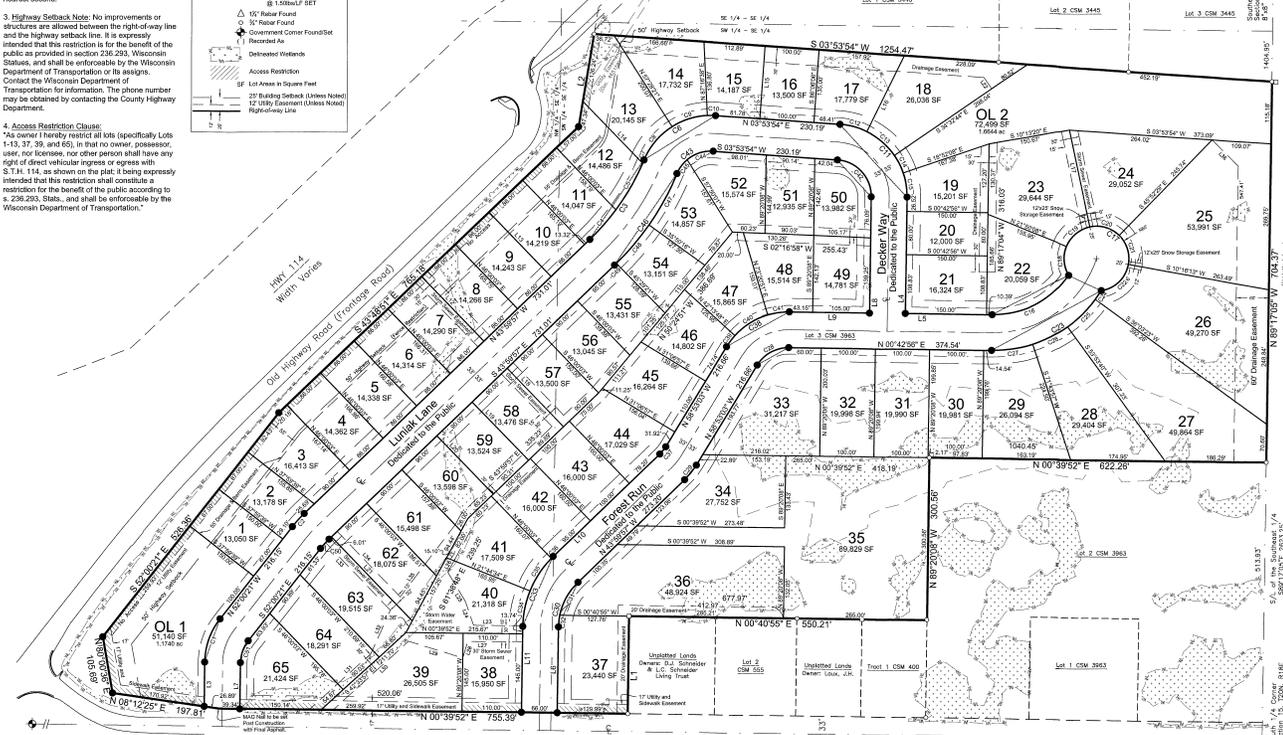
SE 1/4 SEC 15, T 20 N, R 18 E
VILLAGE OF HARRISON
CALUMET COUNTY, WI



NOTES

- All linear measurements have been made to the nearest one hundredth of a foot.
- All bearings are computed and measured to the nearest second.
- Highway Setback Note:** No improvements or structures are allowed between the right-of-way line and the highway setback line. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assignee. Contact the Wisconsin Department of Transportation for information. The phone number may be obtained by contacting the County Highway Department.
- Access Restriction Clause:** "As owner I hereby restrict all lots (specifically Lots 1-13, 37, 39, and 65), in that no owner, possessor, user, or licensee, nor other person shall have any right of direct vehicular ingress or egress with S.191.114, as shown on the plat, it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s. 236.203, Stats., and shall be enforceable by the Wisconsin Department of Transportation."

LEGEND



LINE TABLE	LINE TABLE	LINE TABLE	LINE TABLE		
Line	Bearing	Length	Line	Bearing	Length
L1	N 0°22'57\"	160.34	L21	N 48°03'03\"	159.61
L2	S 80°36'48\"	172.58	L22	N 52°27'18\"	25.62
L3	N 80°20'48\"	61.63	L23	N 03°38'22\"	91.08
L4	N 69°17'18\"	214.34	L24	N 71°11'48\"	46.37
L5	S 0°42'57\"	160.39	L25	N 68°58'48\"	63.13
L6	S 89°20'48\"	158.74	L26	S 01°39'48\"	24.19
L7	S 4°20'48\"	89.28	L27	N 70°29'18\"	100.96
L8	N 80°17'58\"	214.34	L28	N 72°54'30\"	31.90
L9	N 00°42'57\"	148.10	L29	N 17°08'21\"	103.07
L10	N 43°58'57\"	273.20	L30	N 42°33'57\"	188.42



Scott R. Anderson
Professional Land Surveyor
No. S-3169

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as provided by a 236.12, Wis. Stats.

Certified October 15, 2025

Department of Administration

DOCUMENT # 555974
TAMARA ALLEN
REGISTER OF DEEDS
CALUMET COUNTY, WI
07/04/2025 10:38 AM
VOL: 9 PAGE: 260
RECORDING FEE: 90.00

Revision Date: Oct 02, 2025
Original Submittal: Sept 23, 2025

File: 7958Final.dwg
Date: 10/02/2025
Drawn by: Kristy
Sheet: 1 of 2



DAVE ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 920-891-1800
www.daveco.com

Forest Ridge

All of Lot 3, Certified Survey Map No. 3963, being located in the Southwest 1/4 of the Southeast 1/4; and Part of the Northwest 1/4 of the Southeast 1/4 of Section 15, Township 20 North, Range 16 East, Village of Harrison, Calumet County, Wisconsin

Surveyor's Certificate

I, Scott R. Anderson, professional land surveyor, hereby certify that in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Village of Harrison, and under the direction of Dercks DeWitt, LLC, owner of said land, I have surveyed, divided and mapped Forest Ridge; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is all of Lot 3, Certified Survey Map No. 3963 (Doc. 609167), being located in the Southwest 1/4 of the Southeast 1/4; and part of the Northwest 1/4 of the Southeast 1/4 of Section 15, Township 20 North, Range 16 East, Village of Harrison, Calumet County, Wisconsin, containing 1,110,540 Square Feet (39,2686 Acres) of land, described as follows:

Commencing at the South 1/4 Corner of Section 15, Township 20 North, Range 16 East; thence S89°17'05" along the South Line of the Southeast 1/4, 513.03 feet to the Southeast corner of Lot 2, Certified Survey Map No. 3963 and to the Point of Beginning of the parcel to be described; thence N00°39'52"E along the east line of said Lot 2, 622.26 feet; thence N89°20'09"W along the north line of said Lot 2, 200.56 feet; thence N00°40'55"E along the east line and extension of Tract 1, Certified Survey Map No. 400 and along the east line and extension of Lot 2, Certified Survey Map No. 555, 550.21 feet; thence N89°23'30"W, 190.14 feet to the East right-of-way of North Shore Road; thence N00°39'52"E, along said East right-of-way, 755.38 feet; thence N04°12'22"E along said East right-of-way, 197.81 feet; thence S02°02'11"E along said Westery right-of-way of State Highway 14, 105.69 feet; thence S02°02'11"E along said Westery right-of-way line, 120.36 feet; thence S45°49'18"E along said Westery right-of-way line, 755.18 feet; thence S80°38'48"E along said Westery right-of-way line, 173.58 feet to the east line of Lot 3, Certified Survey Map No. 3963; thence S02°52'54"W along said east line, 1256.47 feet to the South Line of the Point of Beginning, 189°49'17"W along said South line, 704.37 feet to the Southeast. Described parcel is subject to all easements and restrictions of record.

Given under my hand this 14th day of November, 20 25.



Scott R. Anderson, Wisconsin Professional Land Surveyor No. S-1619

Owner's Certificate

Dercks DeWitt, LLC, a corporation duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation owned the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Dercks DeWitt, LLC, does further certify this plat is required by s.236.1(1) or s.236.1(2) to be submitted to the following for approval or objection:

Village of Harrison Planning and Zoning Committee
Calumet County Resource Department
Department of Administration
Department of Transportation

IN WITNESS WHEREOF, the said Dercks DeWitt, LLC, has caused this present to be signed by its authorized representatives, located at Calumet, Wisconsin on this 22nd day of January, 20 26.

In the Presence of: Dercks DeWitt, LLC

Scott DeWitt, President



Calumet, Wisconsin
(County)

Personally came before me this 22nd day of January, 2026, the above named to be known to be the persons who executed the foregoing instrument and acknowledged the same.
Notary Public, Wisconsin
My commission expires: 12/31/28

Utility Easement Provisions

An easement for electric, natural gas, public utilities and communications service is hereby granted by Dercks DeWitt, LLC, grantor

to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as WE Energies, Grantee,
SBC, Grantee,
Harrison Utilities, Grantee
Village of Harrison, Grantee
TDS Matteson, Grantee
and
Time Warner Cable, Grantee

Their respective successors and assigns, to construct, install, operate, repair, maintain and restore from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the rights to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and rocks as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantee agrees to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantee or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or rocks which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantee's facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantee. After installation of any such facilities, the grade of the subdivided property shall be altered by more than four inches without written consent of grantee.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Dercks DeWitt, LLC

Scott DeWitt, Managing Member

1-20-26
Date

Village Board Approval Certificate

Received, that the plat of Forest Ridge in the Village of Harrison, Calumet County, Dercks DeWitt, LLC, is hereby approved and accepted by the Village Board of the Village of Harrison.

Chairman
Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Village Board of the Village of Harrison

Clerk
Date

Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurers of the Village of Harrison and Calumet County, do hereby certify that in accordance with the records in our office, there are no unrecorded tax sales and unpaid taxes, or special assessments on or of the land included in this plat.

Miss Van Speen
Village Treasurer

1-20-2026
Date

Michael V. Schaefer
County Treasurer

2-12-2026
Date

This Final Plat is contained wholly within the property described in the following recorded instruments:
the property record of:
Recording Information: Parcel Number(s):
Doc No. 590334 39522
Doc No. 590334 39526

Village Notes:

- There are Ordinance regulations that have been passed by the Village of Harrison requiring the maintenance of lot drainage plans on a permanent basis. Said regulations have been recorded as Document Number 331448. Calumet County (Dewitt) and shall apply to all subdivisions approved after the 1st day of May, 2001. Said recording shall have the effect of deed restrictions requiring that permanent basins be established in conformance with the lot drainage plan subdivisions within one year after initial occupancy of any house. Failure to maintain grades in accordance with storm water or drainage plans shall create the Village or representative thereof to direct compliance or upon failure of compliance to make said lands come into compliance. The costs and expenses shall be entered on the tax roll as a special charge against the property and collected with other taxes levied thereon.
- Building permits and occupancy permits may be withheld for non-compliance with the plat or Village Ordinances relating to drainage and storm water management.
- In the event that the surface drainage facilities required by the plat which are applicable to the lot with a building permit has been applied, have not been completed with, the building inspector may withhold building permits required by the building code.
- In the event that, after construction there is a failure to establish surface grades in accordance with the subdivision surface water plan, the building inspector may withhold the occupancy permit required by the building code.
- Maintenance of all drainageways and associated structures within the plat or serving the plat is the sole responsibility of the Owner/Subscriber until acceptance by or dedication to the Village of Harrison. After said acceptance please refer to Note 3 for responsibility of owner for maintenance, restorations and related cost of all Drainage Easements.
- Where the final drainage plan requires a storm inlet to adequately drain the rear portion of lots within blocks of the plat, the subdivisor shall incorporate restrictive covenants in the deeds for the aforementioned lots that "The respective lot owners shall be responsible for maintaining a clear grade on any storm drainage inlets on their lot."
- Upon failure of the Owner/Subscriber to perform maintenance of the drainageways and associated structures, the Village of Harrison retains the right to perform maintenance and/or repairs. The payments of said maintenance and/or repairs shall be equally assessed among the property owners of the plat.
- Pursuant to the Village of Harrison Subdivision Improvements Policy, the developer and/or owner shall comply with the approved Drainage and Grading Plan as submitted to the Village of Harrison.
- Drainage Easement Notes:
 - All lands within areas labeled "Drainage Easement" are reserved for stormwater collection, conveyance, treatment, or retention. No buildings, fences, parking areas and landscaping or other structures are allowed in these areas. No grading or filling is allowed in these areas that may interrupt stormwater flows in any way.
 - Any improvement shall be allowed only by special exemption of the Village of Harrison Planner.
 - Landscaping/easements are not restricted to ground cover.
 - If Drainage Easements are not adequately maintained, the Village of Harrison may levy the cost and expenses of such inspections, maintenance, and/or repair related actions as a special charge against the property and collected as such in accordance with the procedures under Wis. Stats. 66.027.
- There shall be no lower exposed openings on lots containing a drainage easement. Any gress windows will require a window well with a top elevation consistent with the top of the house foundation elevation.
- US Army Corps of Engineers Approved Regional General Permit # MWP-2003-00437-JLK and Non-Federal Exemption File # DE-E-0325-018167 exist within the plat. Additional permits or exemptions will be required prior to building on lots 4-8, 15-18, 23-27, 46, 51, 52, 54, 55, 59, 60, and 65 and wetlands will be impacted by the development of the lot.

CURVE TABLE

Curve	Radius	Chord Distance	Chord Length	Arc Length	Central Angle	Target Bearing in	Target Bearing of
C1	100.000	100.000000	60.000	60.000	60.000000	N 45°00'00"W	N 45°00'00"W
C2	233.000	144.939709	120.37	120.37	32.96	S 02°02'00"E	N 45°00'00"W
C3	434.000	165.691970	172.62	170.09	23.308	N 87°38'50"W	N 45°00'00"W
C4	434.000	165.691970	172.62	170.09	57.682	N 87°38'50"W	N 45°00'00"W
C5	434.000	165.691970	172.62	170.09	92.366	N 87°38'50"W	N 45°00'00"W
C6	133.000	131.121970	105.49	105.07	71.222	N 03°32'00"E	N 87°38'50"W
C7	434.000	165.691970	172.62	170.09	126.042	N 87°38'50"W	N 45°00'00"W
C8	133.000	131.121970	105.49	105.07	155.706	N 03°32'00"E	N 87°38'50"W
C9	133.000	131.121970	105.49	105.07	185.370	N 03°32'00"E	N 87°38'50"W
C10	133.000	131.121970	105.49	105.07	215.034	N 03°32'00"E	N 87°38'50"W
C11	133.000	131.121970	105.49	105.07	244.698	N 03°32'00"E	N 87°38'50"W
C12	133.000	131.121970	105.49	105.07	274.362	N 03°32'00"E	N 87°38'50"W
C13	133.000	131.121970	105.49	105.07	304.026	N 03°32'00"E	N 87°38'50"W
C14	133.000	131.121970	105.49	105.07	333.690	N 03°32'00"E	N 87°38'50"W
C15	133.000	131.121970	105.49	105.07	363.354	N 03°32'00"E	N 87°38'50"W
C16	107.000	107.000000	68.44	68.44	90.000000	N 03°32'00"E	N 87°38'50"W
C17	60.000	52.974812	33.67	33.67	90.000000	N 03°32'00"E	N 87°38'50"W
C18	60.000	52.974812	33.67	33.67	120.000000	N 03°32'00"E	N 87°38'50"W
C19	60.000	52.974812	33.67	33.67	150.000000	N 03°32'00"E	N 87°38'50"W
C20	60.000	52.974812	33.67	33.67	180.000000	N 03°32'00"E	N 87°38'50"W
C21	60.000	52.974812	33.67	33.67	210.000000	N 03°32'00"E	N 87°38'50"W
C22	60.000	52.974812	33.67	33.67	240.000000	N 03°32'00"E	N 87°38'50"W
C23	233.000	144.939709	120.37	120.37	59.280220	N 04°02'00"E	N 04°02'00"E
C24	233.000	144.939709	120.37	120.37	89.360440	N 04°02'00"E	N 04°02'00"E
C25	233.000	144.939709	120.37	120.37	119.440660	N 04°02'00"E	N 04°02'00"E
C26	233.000	144.939709	120.37	120.37	149.520880	N 04°02'00"E	N 04°02'00"E
C27	233.000	144.939709	120.37	120.37	179.601100	N 04°02'00"E	N 04°02'00"E
C28	233.000	144.939709	120.37	120.37	209.681320	N 04°02'00"E	N 04°02'00"E
C29	133.000	131.121970	105.49	105.49	143.988000	N 04°02'00"E	N 04°02'00"E
C30	133.000	131.121970	105.49	105.49	174.068220	N 04°02'00"E	N 04°02'00"E
C31	133.000	131.121970	105.49	105.49	204.148440	N 04°02'00"E	N 04°02'00"E
C32	133.000	131.121970	105.49	105.49	234.228660	N 04°02'00"E	N 04°02'00"E
C33	133.000	131.121970	105.49	105.49	264.308880	N 04°02'00"E	N 04°02'00"E
C34	133.000	131.121970	105.49	105.49	294.389100	N 04°02'00"E	N 04°02'00"E
C35	133.000	131.121970	105.49	105.49	324.469320	N 04°02'00"E	N 04°02'00"E
C36	133.000	131.121970	105.49	105.49	354.549540	N 04°02'00"E	N 04°02'00"E
C37	133.000	131.121970	105.49	105.49	384.629760	N 04°02'00"E	N 04°02'00"E
C38	133.000	131.121970	105.49	105.49	414.710000	N 04°02'00"E	N 04°02'00"E
C39	133.000	131.121970	105.49	105.49	444.790240	N 04°02'00"E	N 04°02'00"E
C40	133.000	131.121970	105.49	105.49	474.870480	N 04°02'00"E	N 04°02'00"E
C41	133.000	131.121970	105.49	105.49	504.950720	N 04°02'00"E	N 04°02'00"E
C42	87.000	87.000000	55.98	55.98	90.000000	N 04°02'00"E	N 04°02'00"E
C43	87.000	87.000000	55.98	55.98	120.000000	N 04°02'00"E	N 04°02'00"E
C44	87.000	87.000000	55.98	55.98	150.000000	N 04°02'00"E	N 04°02'00"E
C45	87.000	87.000000	55.98	55.98	180.000000	N 04°02'00"E	N 04°02'00"E
C46	87.000	87.000000	55.98	55.98	210.000000	N 04°02'00"E	N 04°02'00"E
C47	87.000	87.000000	55.98	55.98	240.000000	N 04°02'00"E	N 04°02'00"E
C48	87.000	87.000000	55.98	55.98	270.000000	N 04°02'00"E	N 04°02'00"E
C49	87.000	87.000000	55.98	55.98	300.000000	N 04°02'00"E	N 04°02'00"E
C50	87.000	87.000000	55.98	55.98	330.000000	N 04°02'00"E	N 04°02'00"E
C51	87.000	87.000000	55.98	55.98	360.000000	N 04°02'00"E	N 04°02'00"E

There are no objections to this plat with respect to s. 236.15, 236.16, 236.20 and 236.21 (1) and (2), Wis. Stats. as updated by s. 236.12, Wis. Stats.

Certified October 15, 2025

Department of Administration

File: 7959Ffinal.dwg
Date: 10/02/2025
Drawn By: Abby
Sheet: 2 of 2



DAVEL ENGINEERING & ENVIRONMENTAL, INC.
Civil Engineers and Land Surveyors
1164 Province Terrace, Menasha, WI 54952
Ph: 202-201-1986
www.davel.org

Revision Date: Oct. 02, 2025
Original Submit: Sept. 23, 2025